



INSPECTION REPORT

PREPARED BY: Rick Francis



FOR THE PROPERTY AT:

Sample

PREPARED FOR:

Sample

INSPECTION DATE:

4 Site Building Inspections Inc

N85.W16110 Appleton Ave., Suite
703

Menomonee Falls, WI 53051

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Total Pages: 52

Thursday, May 29, 2025



Dear sample.,

Thank You very much for choosing 4Site Building Inspections INC to perform your building inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice set forth in International Standards of Practice for Inspecting Commercial Properties. This standard can be found at the link below:

<https://ccpia.org/wp-content/uploads/ComSOP-2022.pdf>

This report provides recommendations, preliminary cost estimates and priorities for:

- remedying major deficiencies
- updating ageing major components and
- undertaking further detailed investigations.

The recommendations are for remedial actions that are considered to be beyond the normal maintenance of the building. Estimated costs are provided for recommendations expected to exceed \$3,000. The Inspection Report contains estimates as to the costs associated with making repairs, the Client understands and agrees that said estimates are included solely as a guide and are not to be considered, understood or utilized by the Client as representing the actual costs associated with making any such repairs. The Client further acknowledges and agrees to hold harmless the Company in connection with any estimate(s) that may overstate or understate the actual cost of repair(s), even if said overstatement and/or understatement is due to the negligence of the Company. Regardless of any such estimates, the Client should obtain further qualification of any cost estimates from an appropriate contractor, tradesperson and/or professional.

This report is intended for the exclusive use of our client. Use of the information contained within the report by any other party is not intended and, therefore, we accept no responsibility for such use.

INSPECTION AUTHORIZATION AND SCOPE This report is a professional opinion, based on the accessible features of the building. We evaluated the current physical condition. We did not perform a design analysis. We visually reviewed the performance, looking for evidence of distress. It should be understood that there are limitations to such an inspection. Throughout any inspection, inferences are often drawn which cannot be confirmed by direct observation. Therefore, it should be understood that we can reduce the number of unforeseen repairs; however, we cannot eliminate them.

Consequently, no guarantee or warranty can be offered or implied. This confidential report is prepared exclusively for the client named on the Inspection Agreement with 4Site Building Inspections INC. Only the items specifically addressed in this report were examined. No comment is offered on fire protection equipment or on fire regulation, building code and building bylaw compliance, or environmental concerns. No plans or

drawings were available at the time of this inspection. No inquiries have been made to the local building or fire departments. It is the buyer's due diligence to check for code violations.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein. The report is effectively a snapshot of the building, recording the conditions on a given date and time. Building inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. Please note that ALL repairs to this building should be done by a Licensed Contractor. Licensed Contractors will pull appropriate permits for the work being done and provide a warranty or guarantee. If a Re-Inspection is requested by the Client after repairs are completed by a Licensed Contractor, it is required that a list of items to be inspected is provided and the Contractors completed scope of work for each item is provided to 4Site Building Inspections prior to the Re-Inspection. The cost of the follow up inspection will be half of the original inspection cost plus applicable trip fees.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing 4Site Building Inspections to perform your building inspection.

Sincerely,

Rick Francis

On behalf of

4 Site Building Inspections Inc



Summary	Site Data	Roofing	Exterior	Structure	Electrical	Heating	Cooling	Insulation	Plumbing
Interior	Reference								

Summary

Introduction

This summary page is provided for convenience and is not a substitute for reading the entire report and should not be relied upon as the complete list for the client's reference.

Estimated costs are provided for recommendations expected to exceed \$3,000. The estimated costs are only intended to provide an order of magnitude. Licensed Contractors should be contacted for exact quotations.

A Building Inspector may not report on the market value or marketability of a property or whether a property should or should not be purchased.

Major cost estimate summary:

Roof Repairs	\$4,000-\$7,000	Immediately
Roof Replacement	\$125,000-\$150,000	1-2 years
Block wall Repairs	Over \$15,000	Within 1 year
Concrete Repairs	\$5,000-\$10,000	Immediately
Parking lot Repairs	\$35,000-\$45,000	3-6 months
RTU Replacements	\$50,000-\$65,000	1-2 years
Fire Sprinkler system	Over \$1,000	Immediately
Water Heater Replacements	\$2,500-\$3,500	1-3 years
Interior Water damage	Over \$3,000	Immediately
Bathroom Accessibility remodel	\$2,500-\$3,500	Immediately

Flat roofing\General notes

Damaged roofing was noted at the south side of the building. Framing is exposed and active water damage was noted in this area. Some seams are poor or loose. Ballast is poorly spread out and limiting proper drainage. Repairs are needed immediately.

Location: Various

Task: Repair

Time: Immediately

Cost: \$4,000-\$7,000

The roof system is at the end of life expectancy. Repairs may help extend the life of the roof slightly but a budget should be set aside for replacement. The RTUs will need to be disconnected to replace the roof and 3 units have R22 coolant that cannot be recharged. A Certified Roofer should evaluate the roof for repair/replacement.

Location: Throughout

Summary	Site Data	Roofing	Exterior	Structure	Electrical	Heating	Cooling	Insulation	Plumbing
Interior	Reference								

Task: Repair

Time: 1-2 years

Cost: \$125,000-\$150,000

Walls\General notes

The block has been painted which can trap moisture. The block lacks proper weeps or weeps are blocked at lintels. Most lintels show signs of rust and water entrapment. A front entry column shows signs of settlement and damaged block. Block at the top of the East wall are tilted and need repairs. A Mason should be consulted to make repairs to the lintels, add weeps and make block repairs.

Location: Various

Task: Repair

Time: Within 1 year

Cost: Over \$15,000

Landscaping\Walkway

A concrete slab is broken and needs to be replaced at the West wall. The concrete has settled and has poor drainage at the front entry. Rust in the concrete may indicate that there are issues with rebar in the concrete. Trip hazards were noted at each entry/walkway. A concrete contractor should make repairs.

Location: South, West

Task: Repair

Time: Immediately

Cost: \$5,000-\$10,000

Landscaping\Driveway

The side parking lot is in need of maintenance/repairs. Some areas are deteriorated and will need replacement.

Location: West

Task: Repair

Time: within 3-6 months

Cost: \$35,000-\$45,000

Recommendations\General

The RTUS are in need of service/maintenance by a hvac contractor. Filters should be replaced and exterior fins should be improved.

Location: Roof

Task: Service

Time: within 3-6 months

3 of the RTUs are past life expectancy and have lacked some maintenance. A budget should be set aside for replacement.

Location: Roof

Task: Repair

Time: 1-2 years

Cost: \$50,000-\$65,000

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Supply plumbing\Water supply piping in building

The fire sprinkler system is in need of the 1 year and 5 year service/inspections.

Location: Throughout

Task: Service

Time: Immediately

Cost: Over \$1,000

Water heater\General notes

The water heaters show signs of age and will need replacement in the near future.

Location: Front, Rear

Time: Within 1-3 years

Cost: \$2,500-\$3,500

Fixtures and faucets\Toilet

The bathrooms are marked as handicap accessible. Toilet stalls lack proper spacing, hand rails and the toilets are not the proper height. Sinks should have space below for wheel chair access as well. Remodeling of these spaces are recommended for proper access.

Location: Mens and womens Bathrooms

Task: Repair

Time: Immediately

Cost: \$4,000-\$7,000

Ceilings and Walls\General notes

Extensive water damage/intrusion was noted around various doors/windows. Some ceiling tiles have water stains as well. The cause of and extent of the water damage should be investigated and repaired.

Location: Various

Task: Repair Further Evaluation

Time: Immediately

Cost: Over \$3,000

Summary	Site Data	Roofing	Exterior	Structure	Electrical	Heating	Cooling	Insulation	Plumbing
Interior	Reference								

Conclusion

Most buildings are designed to last a very long time, but many of the components are consumable. Roofs, heating systems, parking lots, air conditioning systems and water heaters, for example, wear out and are replaced from time to time. An older building means more maintenance will be needed over time.

Many elements like kitchens, bathrooms, flooring, siding, and windows are most often changed for lifestyle and decorating reasons. These discretionary building improvements are typically planned projects. Unplanned repairs or replacements are never welcome, but are part of ownership.

We encourage you to set up maintenance programs to protect your investment, reduce costs, improve comfort and efficiency, and extend life expectancy.

ASBESTOS, MOLD AND OTHER ENVIRONMENTAL ISSUES

Environmental issues are outside the scope of a building inspection. Inspectors do not identify or evaluate issues such as asbestos, mold and indoor air quality. Many building materials contain asbestos, and moisture problems may result in visible or concealed mold. An Environmental Consultant can assist with these types of issues.

END OF OVERVIEW



Site Data

Description

General

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection. I suggest that permit history for the property is investigated by the client. This information may be obtained from the municipality.

The building inspected is approximately 12,800 square feet. The building was built in 1989 and is being used as an office building. The building is in average condition overall. The most significant improvements needed are the aging HVAC, aging roof, parking lot and masonry/water intrusion improvements. Replacement of the roof should be planned in consideration of RTU replacement.

Weather

Sunny

It was not raining at the time of the inspection.

Light winds

The ground/soil was dry at the time of inspection.

Approximate temperature

60°

Attendees

Buyer's representative

Tenant

Occupancy

The building was furnished but was vacant at the time of inspection.

Area

Suburb

The building faces south for the purpose of this report.

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Roofing

Description

General

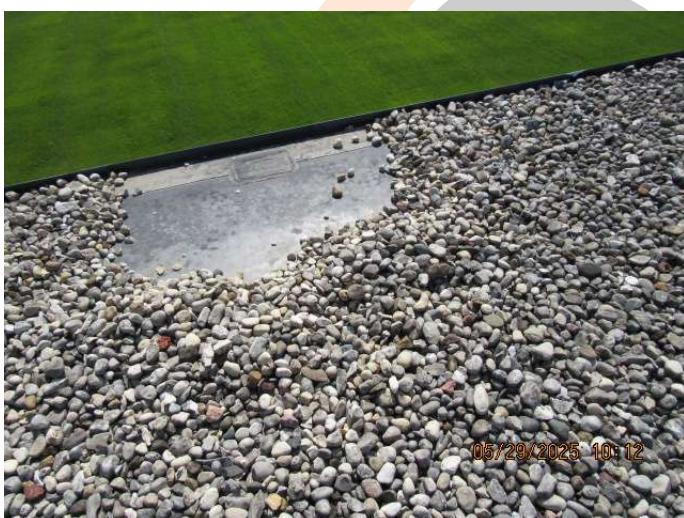
Every roofing system has several vulnerable areas. Annual inspections and ongoing maintenance will be critical to the performance of the roofing system.

The configuration of the roofing system is susceptible to ice damming and related leaks. The potential for ice dams varies with the severity of the winter and depending on insulation and ventilation under the roof. Severe ice dams can result in leaks, typically near the eaves. Solutions include better attic insulation and ventilation, eave protection below the roof coverings, or as a stop-gap measure, the installation of heating cables on the roof.

The roof is at the end of life expectancy. Replacement is needed in the near future.

Flat roofing material

Rubber



Recommendations and Observations

Flat roofing\General notes

1. Damaged roofing was noted at the south side of the building. Framing is exposed and active water damage was noted in this area. Some seams are poor or loose. Ballast is poorly spread out and limiting proper drainage. Repairs are needed immediately.

Location: Various

Task: Repair

Time: Immediately

Cost: \$4,000-\$7,000



2. The roof system is at the end of life expectancy. Repairs may help extend the life of the roof slightly but a budget should be set aside for replacement. The RTUs will need to be disconnected to replace the roof and 3 units have R22 coolant that cannot be recharged. A Certified Roofer should evaluate the roof for repair/replacement.

[Summary](#)[Site Data](#)[Roofing](#)[Exterior](#)[Structure](#)[Electrical](#)[Heating](#)[Cooling](#)[Insulation](#)[Plumbing](#)[Interior](#)[Reference](#)**Location:** Throughout**Task:** Repair**Time:** 1-2 years**Cost:** \$125,000-\$150,000

Roofing Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Inspection limited/prevented by

Ballast covered 99 percent of the roof.

Inspection performed

By walking on roof

A representative sample of exterior components was inspected rather than every occurrence of components.

Underlayment installation cannot be confirmed. Only the accessible portion of the roof system is inspected.



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Exterior

Description

General

Repairs are needed on the exterior.

The building owner is responsible for maintaining proper drainage around the building. Grading is an on-going maintenance item. This means keeping the gutters clean and properly pitched, downspouts extended 5-7 ft. from the building, underground downspouts clean and proper grading pitched away the foundation of the building approximately 1 per ft. for at least 10 ft. or to the lot line. Failure to do this maintenance can lead to water penetration, mold and eventual major foundation repair.

Gutter & downspout material

Internal

Gutter & downspout discharge

[Below grade](#)

Lot slope

[Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves)

Stone/block

Wall surfaces and trim

[Block](#)

Retaining wall

None

Driveway

Asphalt

Walkway

Concrete

Garage

None



Recommendations and Observations

Walls\General notes

3. The block has been painted which can trap moisture. The block lacks proper weeps or weeps are blocked at lintels. Most lintels show signs of rust and water entrapment. A front entry column shows signs of settlement and damaged block. Block at the top of the East wall are tilted and need repairs. A Mason should be consulted to make repairs to the lintels, add weeps and make block repairs.

Location: Various

Task: Repair

Time: Within 1 year

Cost: Over \$15,000

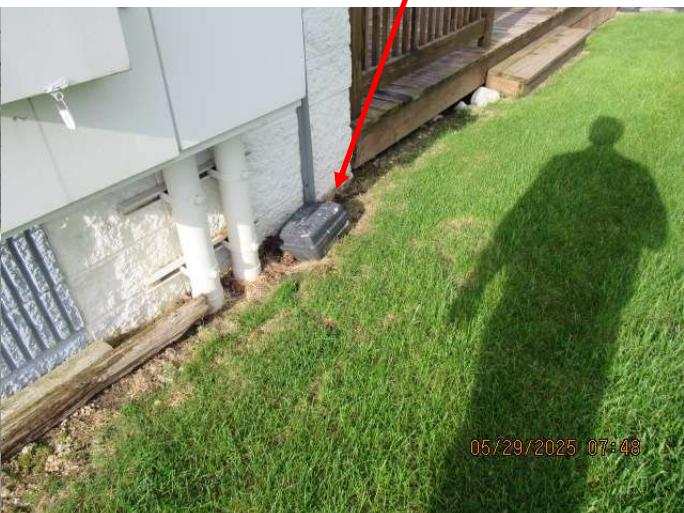


Summary	Site Data	Roofing	Exterior	Structure	Electrical	Heating	Cooling	Insulation	Plumbing
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4. Bird nests/activity was noted at the front wall. Vermin traps/tunneling was noted at the rear wall. A wildlife specialist should be consulted.

Location: Front/Rear

Task: Improve



Windows and doors\General notes

5. Some window seals and caulking is poor and could allow water intrusion. A window contractor should be consulted.

Location: Various

Task: Repair

Time: within 3-6 months

Porches, decks, stairs, patios and balconies\General notes

6. The deck is in need of painting/sealing.

Location: West

Summary	Site Data	Roofing	Exterior	Structure	Electrical	Heating	Cooling	Insulation	Plumbing
Interior	Reference								

Task: Repair

Time: within 3-6 months

Landscaping\General notes

7. Landscaping on exterior walls should be kept trimmed away from siding, window trims, and the eaves to reduce risk of insect and water damage.

Location: Various

Task: Improve

Landscaping\Lot grading

8. The grading should be improved to promote the flow of storm water away from the building. This can often be accomplished by the addition or re-grading of top soil. The ground should slope away from the building at a rate of one inch per foot for at least the first ten feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding.

Location: Various

Task: Improve

Time: Discretionary



Landscaping\Walkway

9. A concrete slab is broken and needs to be replaced at the West wall. The concrete has settled and has poor drainage at the front entry. Rust in the concrete may indicate that there are issues with rebar in the concrete. Trip hazards were noted at each entry/walkway. A concrete contractor should make repairs.

Location: South, West

Task: Repair

Time: Immediately

Cost: \$5,000-\$10,000

Summary	Site Data	Roofing	Exterior	Structure	Electrical	Heating	Cooling	Insulation	Plumbing
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Landscaping\Driveway

10. The side parking lot is in need of maintenance/repairs. Some areas are deteriorated and will need replacement.

Location: West

Task: Repair

Time: within 3-6 months

Cost: \$35,000-\$45,000



11. Front parking lot is in fair condition and no major repairs were needed at the time of inspection.

Location: Front

Task: Monitor



Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Inspection limited/prevented by

Poor access under steps, deck, porch

Vines/shrubs/trees against wall

No access below decks

Not included as part of a building inspection

Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.

The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.

Structure

Description

General

The inspection did not discover evidence of substantial structural movement in the accessible structural components of the building.

Configuration

[Slab-on-grade](#)

Foundation material

[Poured concrete](#)

Floor construction

[Concrete](#)

Exterior wall construction

Concrete block

Roof and ceiling framing

[Trusses](#)

Steel framing

Location of access to under-floor area

No access



Recommendations and Observations

Walls\Solid masonry walls

12. Some block shows signs of moisture intrusion.

Location: Various Attic

Task: Further Evaluation

Time: Immediately



Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Inspection limited/prevented by

Ceiling, wall and floor coverings

Only a representative portion of visible structural components were visually inspected.

Attic/roof space

There was no access to the side attic areas.

From some ceiling tiles.

Percent of foundation not visible

A large portion of the foundation ceiling was not visible.

slab on grade not visible.

Not included as part of a building inspection

The examination of the structural components was visual only; a design review was not undertaken.

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Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a building inspection. The examination of the structural components was visual only; a design review was not undertaken.

Electrical

Description

General

Electrical defects or Repairs by nature are safety concerns. All Electrical repairs should always be performed by a Licensed Electrician.

Service size

600 Amp

3 phase/4 wire

Main disconnect/service box type and location

Breakers

600 Amp panel board

N/W utility room

System grounding material and type

Ground rod connection not visible

Distribution panel type and location

- Panel PP1
225 Amp
3 phase 4 wire
Next to main panel
- Panel LP1
225 Amp
3 phase 4 wire
Next to main panel
- Panel network room
100 Amp
3 phase 4 wire x 2 panels
- LP-22 west side office
225 Amp
3 phase 4 wire
- Front office
225 Amp
3 phase 4 wire

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Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI)

[GFCIs present](#)

Smoke alarms (detectors)

[Present](#)

Carbon monoxide (CO) alarms (detectors)

None noted

Recommendations and Observations

Service drop and service entrance\Service drop

13. Ideally, the main service drop should not be painted.

Location: Exterior

Task: Improve

Time: Discretionary



Service box, grounding and panel\Distribution panel

14. There should be a workspace in front of each electrical panel that is 3 feet deep and 2.5 feet wide. There should be nothing in front of each panel.

Location: Various

Task: Repair

Time: Immediately

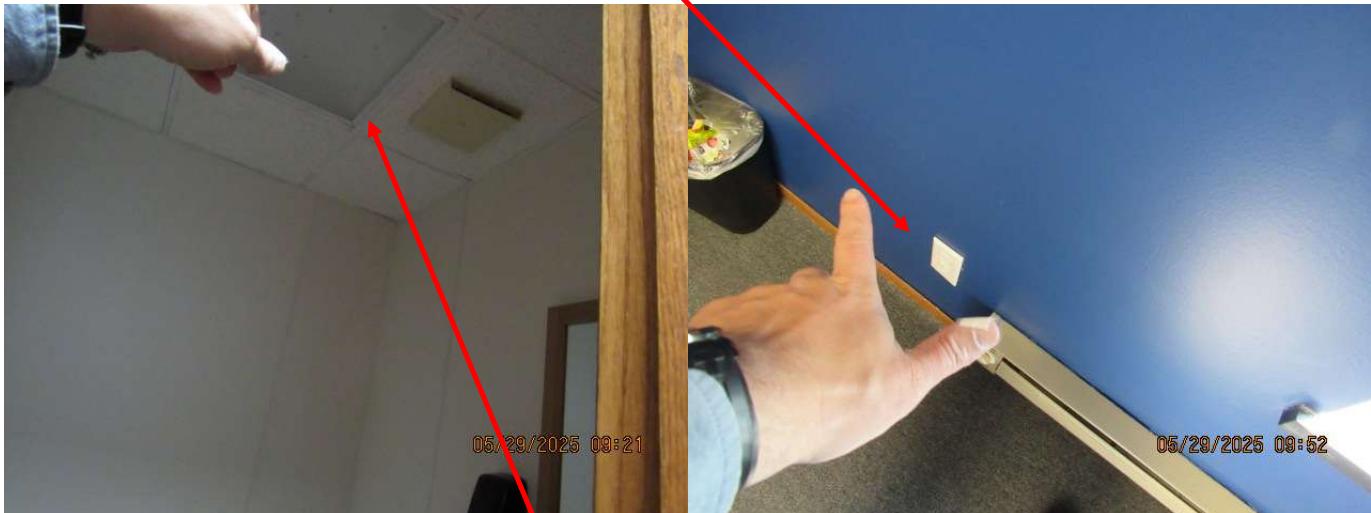
Distribution system\Outlets (receptacles)

15. Outlets that are loose should be repaired.

Location: East office

Task: Repair

Time: Discretionary



Distribution system\Lights

16. The lights are inoperative. If the bulbs are not blown, the circuit should be repaired.

Notes: Rear bathroom, main office space

Location: Various

Task: Improve

Time: Discretionary

Distribution system\Smoke alarms (detectors)

17. Working Carbon Monoxide meters are recommended.

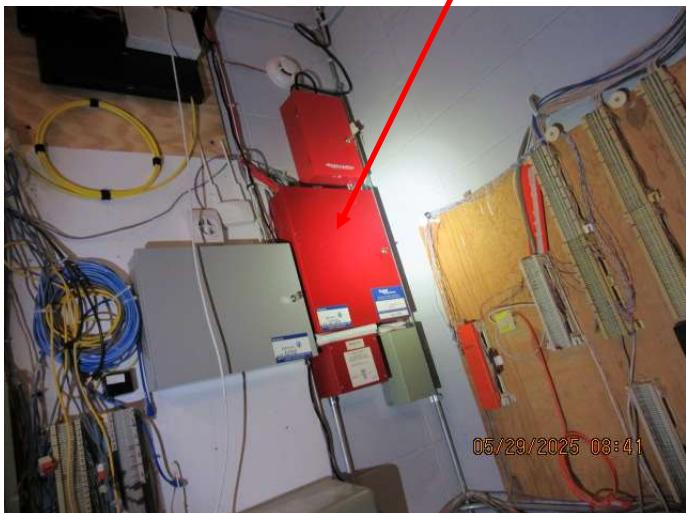
Location: Various

Task: Improve

Time: Discretionary

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18. Fire alarm was not tested. Ideally, the fire alarm should be tested and inspected monthly. A log should be kept of this testing.

Location: Throughout**Task:** Improve Service**Time:** Discretionary

Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Inspection limited/prevented by

Ground wire could not be visually confirmed

Electrical components concealed behind finished surfaces are not inspected. Only a representative sampling of outlets and light fixtures were tested.

Most electrical panels were not opened and interior components of the panels were not inspected.

Electrical Meter is not pulled and interior components of the meter box is not inspected.

Generator is out of the scope of this inspection and was not tested.

Not included as part of a building inspection

Cable, internet, phone lines are not inspected

Built in radio/speakers.

Camera system

Exterior lighting was not tested including the parking lot.

Alarm system not tested.

No load calculations or equipment testing was undertaken.

Heating

Description

General

The building is heated with 7 RTUs and some electrical baseboard heaters. There are approximately 12 thermostats. All thermostats associated with RTUs responded to testing except a S/E thermostat which was off.

Heating system type

RTUs:

3 units/Data tags faded

Approximately 37 years old

R22

4 units International Comfort Products

9 years old each

R410A

7.5 ton x 2, 2 ton, 3 ton

Modine Hot dawg hanging unit

Shipping room

Approx 80k btu

Approx 9 years old

Fuel/energy source

Gas

Heat distribution

Ducts and registers

Main fuel shut off at

Meter

Exterior wall

Fireplace/stove

Metal Chimney

Recommendations and Observations

Recommendations\General

19. The RTUS are in need of service/maintenance by a hvac contractor. Filters should be replaced and exterior fins should be improved.

Location: Roof

Task: Service

Time: within 3-6 months



20. 3 of the RTUs are past life expectancy and have lacked some maintenance. A budget should be set aside for replacement.

Location: Roof

Task: Repair

Time: 1-2 years

Summary	Site Data	Roofing	Exterior	Structure	Electrical	Heating	Cooling	Insulation	Plumbing
Interior	Reference								

Cost: \$50,000-\$65,000

21. Additional service outlets/GFCI should be added.

Task: Improve

Time: Discretionary

Furnace\General notes

22. The hanging unit heater could not be tested. The battery in the thermostat was dead. A HVAC contractor should service and evaluate this unit.

Location: Mailroom

Task: Further Evaluation Service

Time: Discretionary



Furnace\Ducts, registers and grilles

BUILDING INSPECTIONS

23. Heat supply is recommended.

Location: West Utility Room

Task: Improve

Time: Discretionary

Chimney and vent\Metal chimney or vent

24. Metal flues/vents show signs of surface rust and some minor damage to caps.

Task: Improve

Time: Discretionary

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Auxiliary heat\Electric radiant

25. Approx 80 percent of the electric heaters were tested and responded properly. The units should have proper clearances from storage or combustibles when the building is decorated.

Location: Various

Task: Monitor



Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Inspection prevented/limited by

Restricted access

Cannot verify effectiveness of air filter

Interiors of flues or chimneys which are not readily accessible are not inspected.

The adequacy of heat supply or distribution balance is not inspected.

Heat exchanger

Not visible

Not included as part of a building inspection

Heat loss calculations

Summary

Site Data

Roofing

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Electrical

Heating

Cooling

Insulation

Plumbing

Interior

Reference

Cooling & Heat Pump

Description

General

The RTUs were tested in heat mode only due to the overnight temperature.

Manufacturer

Goodman Central air unit

25 years old

3 ton

R22

on roof

Fujitsu Split unit

approx 10 years old

Limited access

Recommendations and Observations

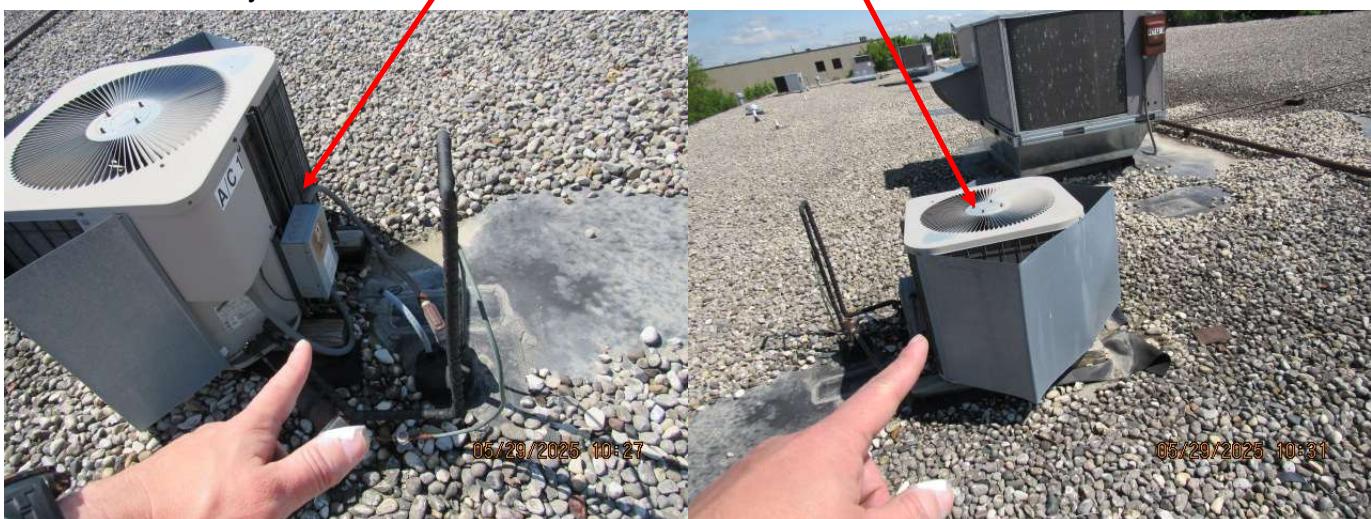
Air conditioning\General notes

26. The central air unit on the roof is in poor condition and is past life expectancy. It is suspected that this unit is abandoned. No air handler for the unit was located. A HVAC contractor should confirm and properly terminate the unit as needed.

Location: Roof

Task: Further Evaluation

Time: Discretionary



Heat pump\General notes

27. The split unit responded to testing. The unit is in need of service/cleaning. Landscaping should be trimmed away from the exterior components.

Location: It closet

Task: Improve Service

Time: Immediately



Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Inspection limited/prevented by

Exterior shut off box not opened.

Not part of a home inspection

The cooling supply adequacy or distribution balance are not inspected.

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Insulation and Ventilation

Description

General

Caulking and weather-stripping around doors, windows and other exterior wall openings will help to maintain weather tightness and reduce energy costs.

As is typical of buildings of this age and construction, insulation levels are relatively modest.

Attic/roof insulation material

[Glass fiber](#)

Attic/roof insulation amount/value

[R-12](#) in some areas

Attic/roof air/vapor barrier

[Not visible](#)

Attic/roof ventilation

[Roof vent](#)

Wall insulation amount/value

Not determined

Foundation wall insulation material

Not determined

Recommendations and Observations

Attic/roof/Insulation

28. Insulation improvements may be cost effective, depending on the anticipated term of ownership.

Location: Various

Task: Improve

Time: Discretionary



29. Discharge for various fan vents could not be fully verified/located.

Location: Bathroom

Task: Monitor

Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Inspection limited/prevented by lack of access to

No access was gained to the wall cavities of the home.

Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.

Attic inspection performed

Any estimates of insulation values or depths are rough average values.

From some ceiling tiles.

Not included as part of a building inspection

Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.

Plumbing

Description

General

The plumbing system is showing signs of age. Updating the system will be required over time. Hose bibs should be turned off in the Winter.

Water supply source (based on observed evidence)

Public

Service piping into building

Not visible

Supply piping in building

Copper

Plastic

Main water shut off valve at the

Front utility room

Water heater location

- West utility room
Richmond
Electric
2014
40 gallons



- Rear office sink
Rheem
6 gallons
7 years old

Water heater fuel/energy source

Electric

Waste and vent piping in building

Plastic

Sewer cleanout location

Not noted

Pumps

None

Main gas shut off valve location

Exterior

Gas meter

Recommendations and Observations

Supply plumbing\Water supply piping in building

30. The fire sprinkler system is in need of the 1 year and 5 year service/inspections.

Location: Throughout

Task: Service

Time: Immediately

Cost: Over \$1,000



Gas supply\Gas piping

31. Rusted gas lines should be improved at the roof. Gas lines should be yellow or marked every 5 feet with gas line indicators.

[Summary](#)[Site Data](#)[Roofing](#)[Exterior](#)[Structure](#)[Electrical](#)[Heating](#)[Cooling](#)[Insulation](#)[Plumbing](#)[Interior](#)[Reference](#)**Location:** Various Exterior**Task:** Repair**Time:** Discretionary

32. Landscaping should be trimmed away from the gas meter.

Location: Front Exterior**Task:** Repair**Time:** within 3-6 months

Water heater\General notes

33. The water heaters did provide hot water but are in need of service/maintenance. A Plumber should service the units. Ideally, drip pans should be added below the units.

Location: utility room, rear office**Task:** Service**Time:** within 3-6 months

34. The water heaters show signs of age and will need replacement in the near future.

Location: Front, Rear**Time:** Within 1-3 years**Cost:** \$2,500-\$3,500

Waste plumbing\Drain piping - performance

35. For the most part, the waste piping is old. It may be prone to unexpected problems. Improvement is recommended on an as needed basis.

Location: Throughout**Task:** Monitor

Summary	Site Data	Roofing	Exterior	Structure	Electrical	Heating	Cooling	Insulation	Plumbing
Interior	Reference								

Fixtures and faucets\Faucet

36. The faucet(s) are leaking at joints when on.

Location: West Utility Room

Task: Repair

Time: Immediately



Fixtures and faucets\Basin, sink and laundry tub

37. The sink was observed to drain slowly, suggesting that an obstruction may exist.

Location: West Utility Room

Task: Repair

Time: Immediately

38. Supply plumbing should be better secured in the kitchen.

Location: Kitchen

Task: Improve

Time: Discretionary

Summary

Site Data

Roofing

Exterior

Structure

Electrical

Heating

Cooling

Insulation

Plumbing

Interior

Reference

Fixtures and faucets\Toilet

39. The bathrooms are marked as handicap accessible. Toilet stalls lack proper spacing, hand rails and the toilets are not the proper height. Sinks should have space below for wheel chair access as well. Remodeling of these spaces are recommended for proper access.

Location: Mens and womens Bathrooms

Task: Repair

Time: Immediately

Cost: \$4,000-\$7,000



INSPECTION

Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Items excluded from a building inspection

Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected

Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.

Appliance connections are out of the scope of this inspection

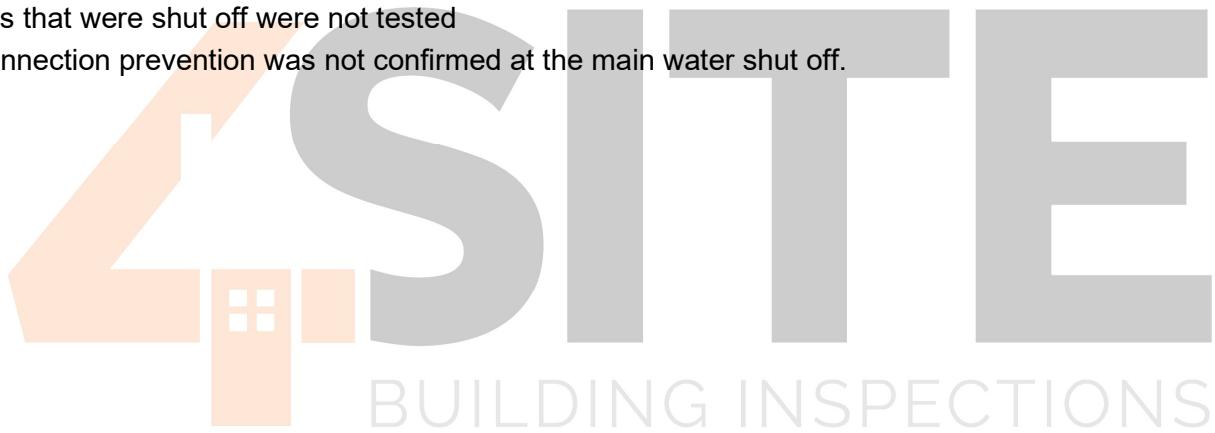
An inspection of the sewage system is outside the scope of this inspection.

An inspection of the well is outside the scope of this inspection. A sample of the well water can be sent to a lab at an additional expense.

The water conditioning system was not part of the inspection.

Hose bibs that were shut off were not tested

Cross connection prevention was not confirmed at the main water shut off.



Interior

Description

General

The building interior finishes are in average condition. Typical flaws were observed in some areas.

Major floor finishes

[Carpet](#)

Tile

Major wall and ceiling finishes

[Plaster/drywall](#)

Windows

[Fixed](#)

Glazing

[Single](#)

[Double](#)

Exterior doors - type/material

Hinged

[Metal](#)

Laundry facilities

None



Kitchen ventilation

Recirculating type

Bathroom ventilation

Exhaust fan

Recommendations and Observations

Ceilings and Walls\General notes

40. The Fire extinguishers need updated service and inspection.

Location: Throughout

Task: Improve Service

Time: within 3-6 months

41. Extensive water damage/intrusion was noted around various doors/windows. Some ceiling tiles have water stains as well. The cause of and extent of the water damage should be investigated and repaired.

Location: Various

Task: Repair Further Evaluation

Time: Immediately

Cost: Over \$3,000



42. Sink backsplash is damaged.

Location: Rear Bathroom

Task: Improve

Time: Discretionary

Floors\General notes

43. The carpet is stained.

Location: Various

Task: Improve

Time: Discretionary

44. Wall tiles are loose.

Location: Front entry

Task: Improve

Time: Discretionary

Moisture intrusion at front entrance window.



45. Trim was removed/loose and ant baits were noted.

Location: East

Task: Improve

Time: Discretionary

Doors\General notes

46. Doors should be trimmed or adjusted as necessary to work properly.

Location: Various

Task: Improve

Time: Discretionary

47. It is recommended that all locks on the home be replaced upon taking ownership.

Location: Various

Task: Improve

Carpentry\Cabinets

48. The cabinets are in average condition.

Basement\Leakage

49. No evidence of moisture penetration was visible at the slab at the time of the inspection. It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.

The vast majority of leakage problems are the result of insufficient control of storm water at the surface. The ground around the building should be sloped to encourage water to flow away from the foundation. Gutters

and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information. In the event that leakage problems are experienced, lot and roof drainage improvements should be undertaken as a first step. Please beware of contractors who recommend expensive solutions. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary.

Appliances\Dishwasher

50. The dishwasher is an old unit. While replacement is not needed right away, it would be wise to budget for a new dishwasher . In the interim, a higher level of maintenance can be expected.

Location: Kitchen

Task: Improve

Time: Discretionary



Appliances\Waste disposal

51. Old waste disposal was noted.

Location: Kitchen

Task: Improve

Potentially hazardous materials\General notes

52. Due to the size age and location of the building I recommended that a phase 1 environmental survey be performed. The survey should include oil tanks, old wells, abandon septic tanks and any other environmentally unsafe practices.

Location: Throughout

Task: Further Evaluation

Time: Discretionary

53. Carbon monoxide detectors are always needed on each floor within the home. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning furnace, range, water heater, space heater

or wood stove. Proper maintenance of these appliances is the best way to reduce the risk of carbon monoxide poisoning. For more information, consult the Consumer Product Safety Commission at 1-800-638-2772 (C.P.S.C.).

54. Radon gas is a naturally occurring gas that is invisible, odorless and tasteless. A danger exists when the gas percolates through the ground and enters a tightly enclosed structure (such as a home). Long term exposure to high levels of radon gas can cause cancer. The Environmental Protection Agency (E.P.A.) states that a radon reading of more than 4.0 picocuries per liter of air represents a health hazard. A radon evaluation is beyond the scope of this inspection (unless specifically requested). For more information, consult the Environmental Protection Agency (E.P.A.) for further guidance and a list of testing labs in your area.
55. There is the potential for lead content in the drinking water within the home. Lead in water may have two sources; the piping system of the utility delivering water to the building and/or the solder used on copper pipes prior to 1988. This can only be confirmed by laboratory analysis. An evaluation of lead in water is beyond the scope of this inspection. For more information, consult the Environmental Protection Agency (E.P.A.) for further guidance and a list of testing labs in your area.

Limitations

General

Please refer to the pre-inspection contract for an additional explanation of the scope of this inspection.

Inspection limited/prevented by

Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects. Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

No access to

Portions of the foundation walls were concealed from view.

Underlying components were not visible i.e.-Sheathing, Studs, Wall Cavities, Insulation, MOLD

Not included as part of a building inspection

Appliances are not included in the scope of the inspection. Appliance finding notations are informational and not a reflection of a full appliance inspection.

Kitchen/bar appliances and mechanicals. Freezer, grills, vents, stoves, specialized sinks

Basement leakage

Cannot predict how often or how badly basement will leak

Storage in basement limited inspection

Reference Pictures



















